



# AGENDA

## Community Planning Advisory Committee

Wednesday, October 5, 2022 at 7:00 p.m.

This meeting will be held electronically

***Mandate:*** *The mandate of the committee is to provide feedback to applicants and advice to Council on land use applications, policies, regulations and initiatives referred either directly by Council or through the Development Approval Procedures Bylaw.*

1. CALL TO ORDER AND ACKNOWLEDGEMENT (7:00pm)  
The Town of Ladysmith acknowledges with gratitude that this meeting takes place on the traditional, unceded territory of the Stz'uminus First Nation.
- 1.1 INFORMATION ON HOW TO VIEW/ATTEND THE MEETING  
  
Residents are encouraged to “virtually” attend the meeting using the meeting link below:  
<https://us06web.zoom.us/j/82431766858?pwd=WTE0aXVERE5aVTIzMExjZEJpT0dKUT09>  
  
For those unable to attend by electronic means, the meeting will be broadcast in the Development Services Department at 132C Roberts Street (corner of Roberts & 2<sup>nd</sup>). Seating is limited.
2. ELECTION OF CHAIR (7:00pm)
3. AGENDA APPROVAL (7:10pm)
4. ADOPTION OF SEPTEMBER 7, 2022 MINUTES\* (7:10pm)
5. NEW BUSINESS  
None.
6. COUNCIL REFERRALS
  - a. Zoning Bylaw Amendment 3360-21-12 - 11 & 17 Warren St.\*  
(30 minutes)
7. MONTHLY BRIEFING (7:40pm)  
File Updates
8. NEXT MEETING - TBD
9. ADJOURNMENT (7:45 pm)

\*Attachments



# MINUTES

## Community Planning Advisory Committee

Wednesday, September 7, 2022 at 7:00 p.m.  
City Hall Council Chambers, 410 Esplanade

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**PRESENT:** Chair – Jason Harrison; Members – Jason Robertson, Steve Frankel, Tamara Hutchinson; Council Liaison – Marsh Stevens; Senior Planner & Recorder – Christina Hovey

**ABSENT:** Members – Abbas Farahbakhsh, Brian Childs, Jennifer Sibbald

**GUESTS:** Applicant – Zachary Chester (File No. 3360-22-01)

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Acting Chair Jason Harrison called the meeting to order at 7:28pm, acknowledging with gratitude that Ladysmith is located on the traditional unceded territories of the Stz'uminus First Nation.

### 1. AGENDA APPROVAL

It was moved, seconded and carried that the Community Planning Advisory Committee Agenda of September 7, 2022 be approved as amended to remove “Item 2 Election of the Chair” to the next meeting and renumber the agenda accordingly.

### 2. ADOPTION OF MINUTES

It was moved, seconded and carried that the Minutes of March 2, 2022 be approved.

### 3. COUNCIL REFERRALS

- a. **Zoning Bylaw Amendment 3360-22-01 1152 Rocky Creek Road & Zoning Bylaw Amendment 3360-22-04 1144 Rocky Creek Road.**

Planner Christina Hovey briefly introduced the files and explained the reasoning for presenting the two files together as well as the option to amend the Zoning Bylaw to allow standard cannabis cultivation and processing as permitted uses throughout the I-1 zone.

Zach Chester (1152 Rocky Creek Road) provided a brief overview of the proposal and stated multiple “micro” cannabis licences (which would be permitted under the current zoning) would have a building footprint and similar impact on the surrounding properties as a single standard licence. The applicant answered questions from the committee and provided the following comments/clarifications:

- Exhaust goes through a carbon filter to minimize odours. Health Canada does regular audits which would include checking the mechanical is functioning and the filters are changed regularly.
- To minimize any impact on the neighbouring residential property the applicant is proposing to place the ventilation equipment on the side of the building opposite the property boundary and may set the building back from the property line (the required setback in the Zoning Bylaw is 3.0 m).
- The business plans to employ 4 people full time and seasonal labour. Jobs are skilled and well paying.
- Although seeking a “standard” rather than “micro” licence they are still considered a small scale or “craft” producer.

- Addressing environmental sustainability including as a “certified organic” producer and using local soil and regenerative soil practices.

The Committee discussed the applications for 1144 and 1152 Rocky Creek Road as well as the broader potential for cannabis production in the industrial zones. The Committee was generally supportive of the two applications.

Regarding the option to amend the permitted uses for the entire I-1 zone to allow standard cannabis cultivation and processing the committee members expressed a range of opinions. Discussion included:

- One member asked what the likelihood would be of seeing a large scale producer establish in the I-1 zone. Staff responded that the parcel configuration would make it unlikely.
- Desire to have a variety of uses in the I-1 zone, not a “cannabis hub” and the municipality may even want to cap the number of cannabis facilities.
- That it will be easier to evaluate possible impacts (e.g. odour) on the surrounding properties in a few years.

**It was moved, seconded and carried that the Community Planning Advisory Committee recommend that Council approve the proposal to rezone 1152 Rocky Creek Road from I-1 to I-1A. (File No. 3060-22-01)**

**It was moved, seconded and carried that the Community Planning Advisory Committee recommend that Council approve the proposal to allow cannabis cultivation and cannabis processing as permitted uses at 1144 and 1152 Rocky Creek Road. (File Nos. 3060-22-01 and 3060-22-04)**

**4. NEW BUSINESS**

None.

**5. MONTHLY BRIEFING**

**File Updates:**

The following files that the Committee previously reviewed have been to Council since the last meeting:

- Holland Heights/Lot 5 Holland Creek (3360-21-08)
- 1301 & 1391 Rocky Creek Road (3360-20-08)
- 201 Dogwood Drive (DP was approved)

The conditions for 1301 & 1391 Rocky Creek Road (3360-20-08) and 1130 Rocky Creek Road (3360-20-02) are being finalized and should return to Council shortly for consideration of adoption. In addition, a draft of the new Official Community Plan was received by Council on September 6, 2022.

Committee members can review the Council Agendas and Minutes or contact staff for further information.

**6. NEXT MEETING – TBD**

**7. ADJOURNMENT**

It was moved, seconded and carried that the meeting be adjourned at 8:20pm.

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Chair (J. Harrison)

**RECEIVED:**

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Corporate Officer (D. Smith)

Subject to Adoption

## CPAC REFERRAL REPORT

**Report Prepared By:** Julie Thompson, Planner  
**Meeting Date:** October 5, 2022  
**File No:** 3360-21-12  
**Re:** Rezoning Application for Multi-Family Development at 11 & 17 Warren Street

### **EXECUTIVE SUMMARY:**

A rezoning application has been received to allow the construction of a four-plex each on two parcels located at 11 & 17 Warren Street, for a total of eight units. The Community Planning Advisory Committee (CPAC) is being asked to provide comments on the rezoning proposal per the Committee's Terms of Reference.

### **BACKGROUND/INTRODUCTION**

The developer is proposing to construct two four-plexes at 11 & 17 Warren Street and has therefore applied to rezone the subject properties. One single-family dwelling is currently located on the subject properties, with part of the building on each parcel. The dwelling is proposed to be removed to allow construction of the proposed four-plexes. The subject properties contain a few mature trees and a large cedar hedge between 17 Warren Street and the neighbouring properties to the southwest (941 1<sup>st</sup> Avenue). The developer is proposing to retain the hedge and as many mature trees as possible. The subject properties are both bordered by a laneway at the rear, and 11 Warren Street is also bordered by a laneway at the side. The immediate surrounding area consists of a mix of one or two storey single-family residences, commercial buildings, the Eagles Hall, and the Rotary Memorial Peace Garden & Cenotaph park.



Figure 1: Subject properties.

The development is proposed to include a two-storey four-unit residential building on each parcel with on-site parking accessible from the rear laneway. The applicant has submitted the following items which are attached to this report:

- Proposed site plan
- Proposed building design concepts
- Letter of rationale

#### **OFFICIAL COMMUNITY PLAN (OCP):**

The subject property is located in the Downtown Mixed Use designation in Official Community Plan 2003, No. 1488. The Downtown Mixed Use designation encourages multi-family residential uses as an alternative to or in combination with commercial uses and supports a density of 75 units per hectare, up to 100 units per hectare with density bonuses. This designation also supports stand-alone multi-family residential uses.

The following OCP policies are also relevant to the proposed development:

- 3.1.4(1) – Direct growth to lands within the Urban Containment Boundary (the subject properties are within the boundary).
- 3.1.4(2) – Direct growth to five general areas including the downtown.
- 3.1.4(3) – Encourage residential infill where vacant lots exist.
- 3.1.4(9) – To reduce land consumption, increased residential densities, such as compact lots, will be promoted at appropriate locations.
- 3.2.3(7) – the Town will encourage new residential development near the downtown over the next 5-20 years.
- 3.2.3(18) – the downtown will be promoted as a residential area with infill and mixed-use development as a key component.

The current OCP designation and various policies support the proposed development on the subject properties therefore an OCP amendment is not required.

#### **New Draft OCP:**

The Town is currently undergoing the process of drafting and adopting a new OCP to replace the existing OCP. While the new OCP has not yet been adopted, draft policies are generally supportive of the proposed development on the subject properties. It is noted that draft policies are subject to change.

#### **Development Permit Areas:**

The subject property is currently located within Development Permit Area 2 - Downtown (DPA 2) in the OCP. If rezoned for the proposed multi-family use, Development Permit Area 4 – Multi-Unit Residential (DPA 4) would automatically apply. If the application proceeds, a development permit (DP) application will be required for the proposed development and details of the building and site design will be finessed at the DP stage. CPAC will have an opportunity to review the design in detail when a DP application is made.

**ZONING BYLAW:**

The subject properties are currently zoned Live/Work Residential (R-2-LW) in Zoning Bylaw 2014, No. 1860. The R-2-LW zone is intended to accommodate single-family residential uses or duplexes in combination with small-scale commercial and service uses. The R-2-LW zone does not permit multi-unit or townhouse dwellings (including four-plexes), therefore a rezoning is required to facilitate the proposed development.

To facilitate the development, the subject properties are proposed to be rezoned to the Medium Density Residential (R-3) zone with site specific provisions for reduced setbacks. Table 1, below, provides a summary of the regulations in the proposed R-3 zone and a summary of the proposed development.

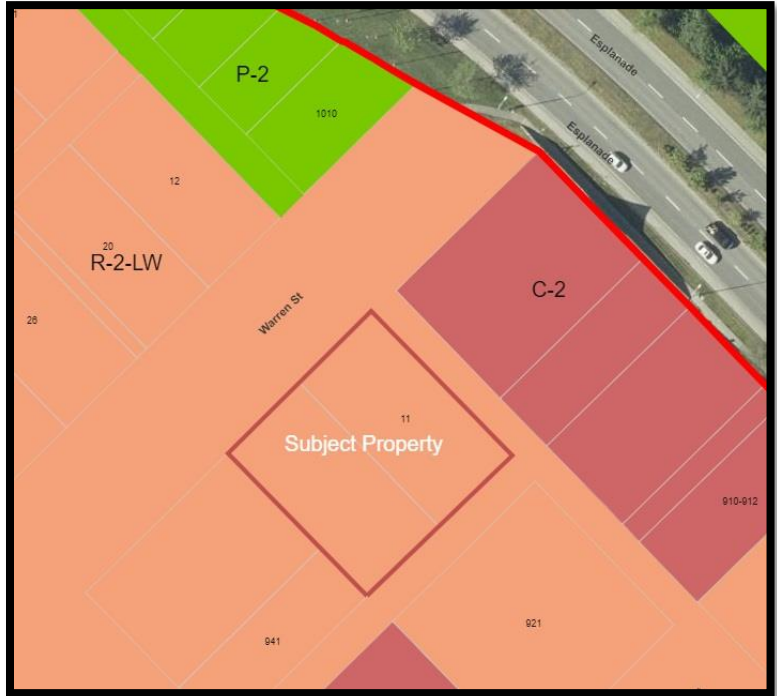


Figure 2: Current zoning of subject properties and surrounding area.

R-3 Zone Regulation Category	Proposed R-3 Zone Regulation	Proposed Development
Principal use	Townhouses Multiple-unit dwellings	Townhouses (4-plex)
Maximum floor space ratio	2.0	0.8
Maximum units per hectare	60	60
Maximum parcel coverage	50.0%	Approximately 40%
Maximum height of a principal building	12.0m	9-10m
Minimum setbacks for a principal building	*Site specific to the subject properties	
Front	3.0m	3m
Interior/Exterior Side	1.5m	1.5m & 3m
Rear	3.0m	10.3m

The minimum front setback for an accessory building is also proposed to be reduced from 6.0m to 3.0m on a site specific basis to align with the proposed front setback for a principal building.

**COMMUNITY AMENITY CONTRIBUTION POLICY (CAC):**

The Town's CAC policy encourages rezoning applicants to contribute towards needed infrastructure and amenities as a way of ensuring that the proposed development is seen as making a positive contribution to the neighbourhood and community at large. The applicant is open to discussing CAC ideas with staff.

**INTERDEPARTMENTAL INVOLVEMENT/IMPLICATIONS:**

The application has been referred to Engineering, the Fire Chief, and Building Inspection as part of the application process.

**NEXT STEPS:**

Following the referral period, the application will proceed to Council for consideration of first, second and third reading.

**ATTACHMENTS:**

- Proposed site plan
- Proposed building design concepts
- Letter of rationale

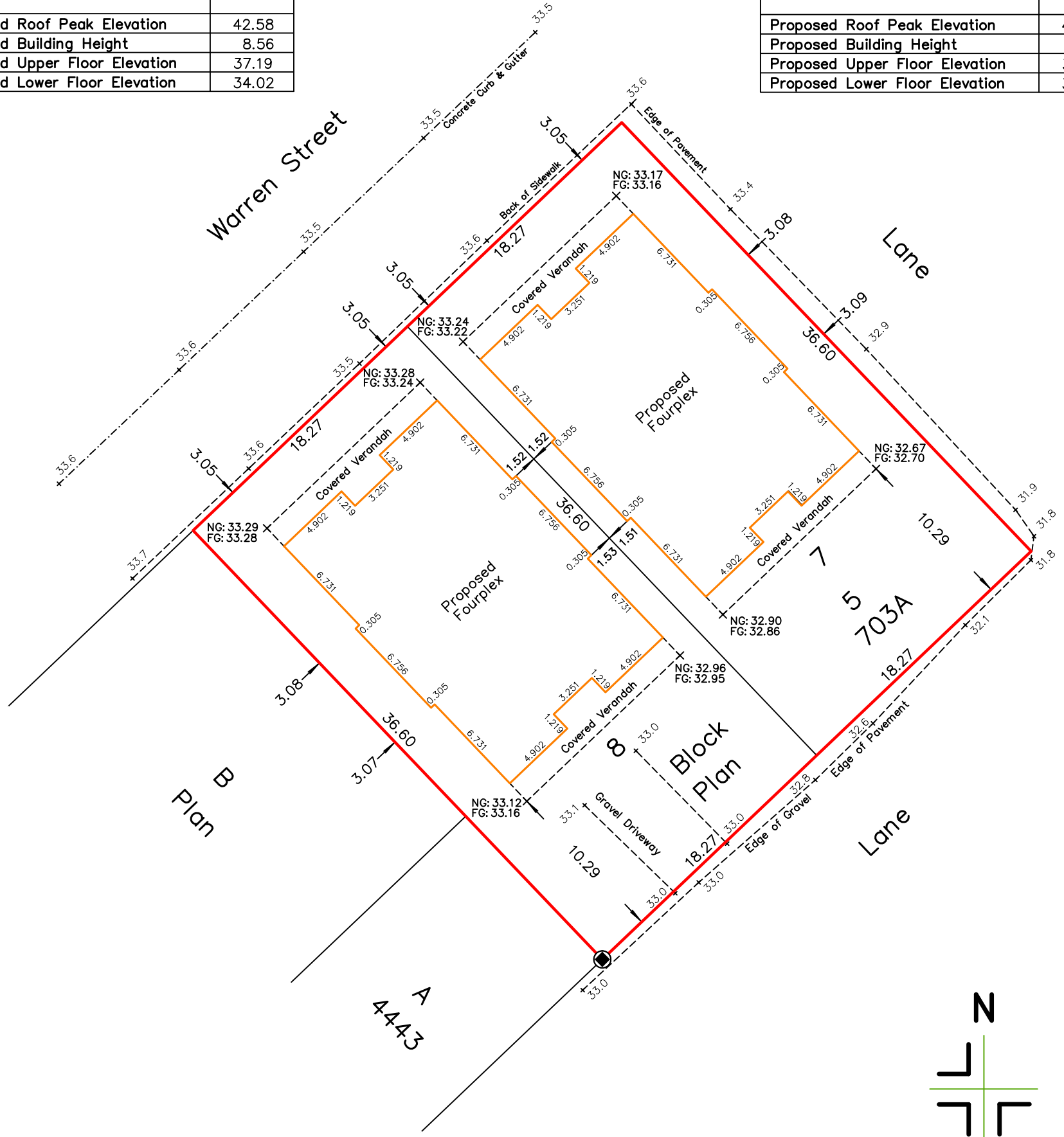


**SITE PLAN OF PROPOSED BUILDING LOCATION ON:  
LOTS 7 AND 8, BLOCK 5, DISTRICT LOT 24,  
OYSTER DISTRICT, PLAN 703A.**

Client: AVTAR PABLA	
Civic Address: 11 & 17 WARREN STREET, LADYSMITH	
File: 20-158	Scale: 1:300
Drawn by: DRW	Property Zoning: R-2-LW

PROPOSED BUILDING - LOT 8	
Zoning	R-2-LW
Parcel Size (m <sup>2</sup> )	668.7
Parcel Coverage (%)	46.0
Avg. Natural Grade	33.17
Avg. Finished Grade	33.16
Maximum Building Height	9.00
Maximum Roof Peak Elevation	42.16
Proposed Roof Peak Elevation	42.58
Proposed Building Height	8.56
Proposed Upper Floor Elevation	37.19
Proposed Lower Floor Elevation	34.02

PROPOSED BUILDING - LOT 7	
Zoning	R-2-LW
Parcel Size (m <sup>2</sup> )	668.7
Parcel Coverage (%)	46.0
Avg. Natural Grade	33.00
Avg. Finished Grade	32.99
Maximum Building Height	9.00
Maximum Roof Peak Elevation	41.99
Proposed Roof Peak Elevation	42.58
Proposed Building Height	8.56
Proposed Upper Floor Elevation	37.19
Proposed Lower Floor Elevation	34.02



DISTANCES AND ELEVATIONS ARE IN METRES.  
 GEODETIC ELEVATIONS ARE DERIVED FROM  
 CONTROL MONUMENT 98SG068 (CVD28BC DATUM).

**NOTE:**  
 THE REGISTERED TITLE OF THESE PROPERTIES IS AFFECTED BY  
 THE FOLLOWING LEGAL NOTATIONS AND REGISTERED CHARGES,  
 LIENS AND INTERESTS:  
M76300.  
 THIS SITE PLAN DOES NOT VERIFY COMPLIANCE WITH THE ABOVE  
 NOTED DOCUMENTS.

THIS SITE PLAN SHOWS THE RELATIVE LOCATION OF THE EXISTING AND PROPOSED  
 STRUCTURES/IMPROVEMENTS WITH RESPECT TO THE BOUNDARIES OF THE  
 DESCRIBED PARCEL ONLY.

THIS SITE PLAN SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY  
 CORNERS.

THE SIGNATORY ACCEPTS NO RESPONSIBILITY FOR AND HEREBY DISCLAIM ALL  
 OBLIGATIONS AND LIABILITIES FOR DAMAGES ARISING OUT OF OR IN CONNECTION  
 WITH ANY DIRECT OR INDIRECT USE OR RELIANCE UPON THE SITE PLAN BEYOND  
 ITS INTENDED USE.

**Turner & Associates**  
 land surveying inc.  
 250.753.9778  
 435 Terminal Avenue North  
 Nanaimo, BC V9S 4J8  
 www.turnersurveys.ca

Certified correct this 10th day of December, 2020.

B.C.L.S.

(This document is not valid unless originally signed and sealed.)

**AVERAGE GRADE  
LOT 7**

I = 33.22m  
J = 33.16m  
K = 33.0m  
L = 32.89m  
M = 32.70m  
N = 32.86m  
O = 32.98m  
P = 33.06m

263.87m/8 = 32.98m

**AVERAGE GRADE  
LOT 8**

A = 33.28m  
B = 33.24m  
C = 33.11m  
D = 33.03m  
E = 32.95m  
F = 33.16m  
G = 33.15m  
H = 33.19m

265.11m/8 = 33.14m



**Property Information**

Project Type: New Fourplexes

Owners:  
Site Address: 11 & 17 Warren Street, Ladysmith

Legal Description: LOTS 7 and 8 BLOCK 5,  
DISTRICT LOT 24,  
OYSTER DISTRICT, PLAN 703A.

**LOT 7**

Setbacks:	Proposed
Front	10'
Rear	29' 8"
Left	10' 1"
Right	5'

Building Height: 9.62 m

Floor Area:	
Main	260 m <sup>2</sup>
Upper	264 m <sup>2</sup>
Total	524 m <sup>2</sup>

Lot Area: 669 m<sup>2</sup>  
Building Footprint: 308 m<sup>2</sup>

Lot Coverage: 46%

Main Floor Elevation: 34.02 m  
Average Grade: 32.98 m

**LOT 8**

Setbacks:	Proposed
Front	10'
Rear	29' 8"
Left	5'
Right	10' 1"

Building Height: 9.46 m

Floor Area:	
Main	260 m <sup>2</sup>
Upper	264 m <sup>2</sup>
Total	524 m <sup>2</sup>

Lot Area: 669 m<sup>2</sup>  
Building Footprint: 308 m<sup>2</sup>

Lot Coverage: 46%

Main Floor Elevation: 34.02 m  
Average Grade: 33.14 m

**Applicable Codes**

-BC Building Code Current Edition (2018)

**Energy**

Compliance path: BCBC 9.36  
Requirements applicable to this project: Step Code 3

**Ventilation**

BCBC 9.32



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FOURPLEXES**

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ISSUED  
FOR  
DP

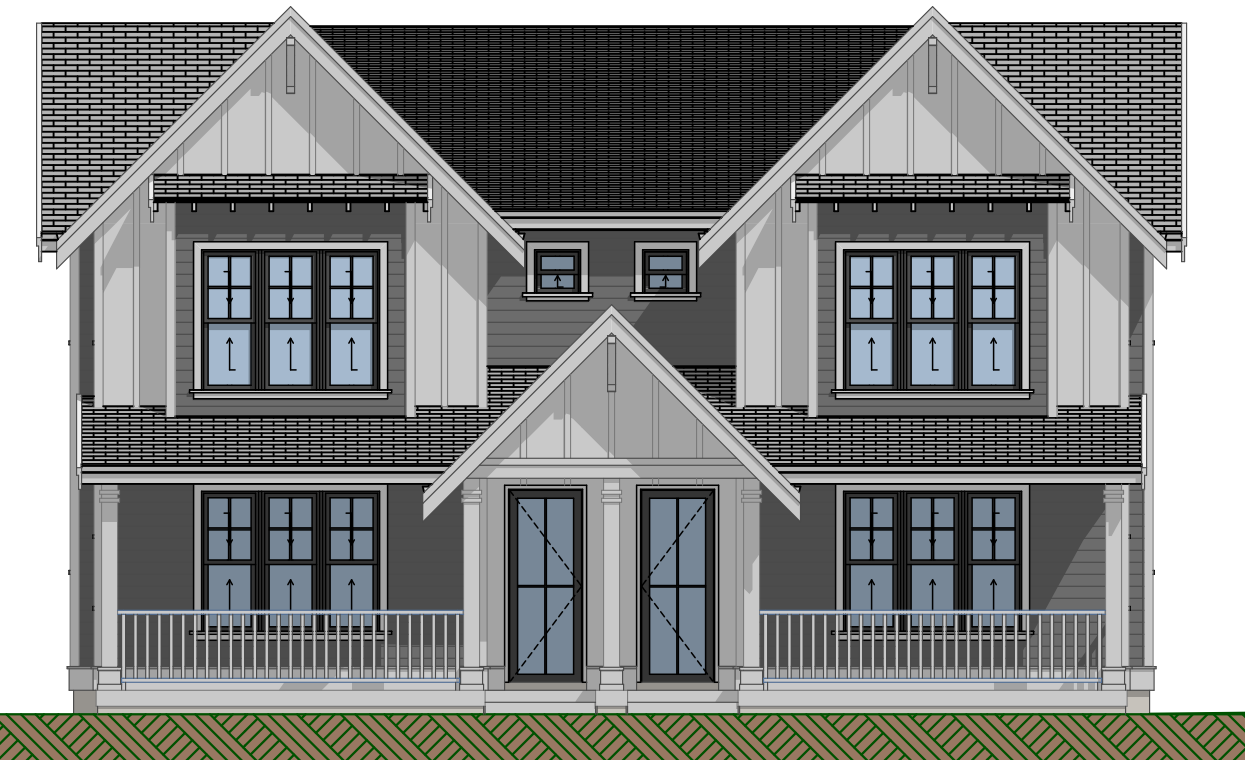
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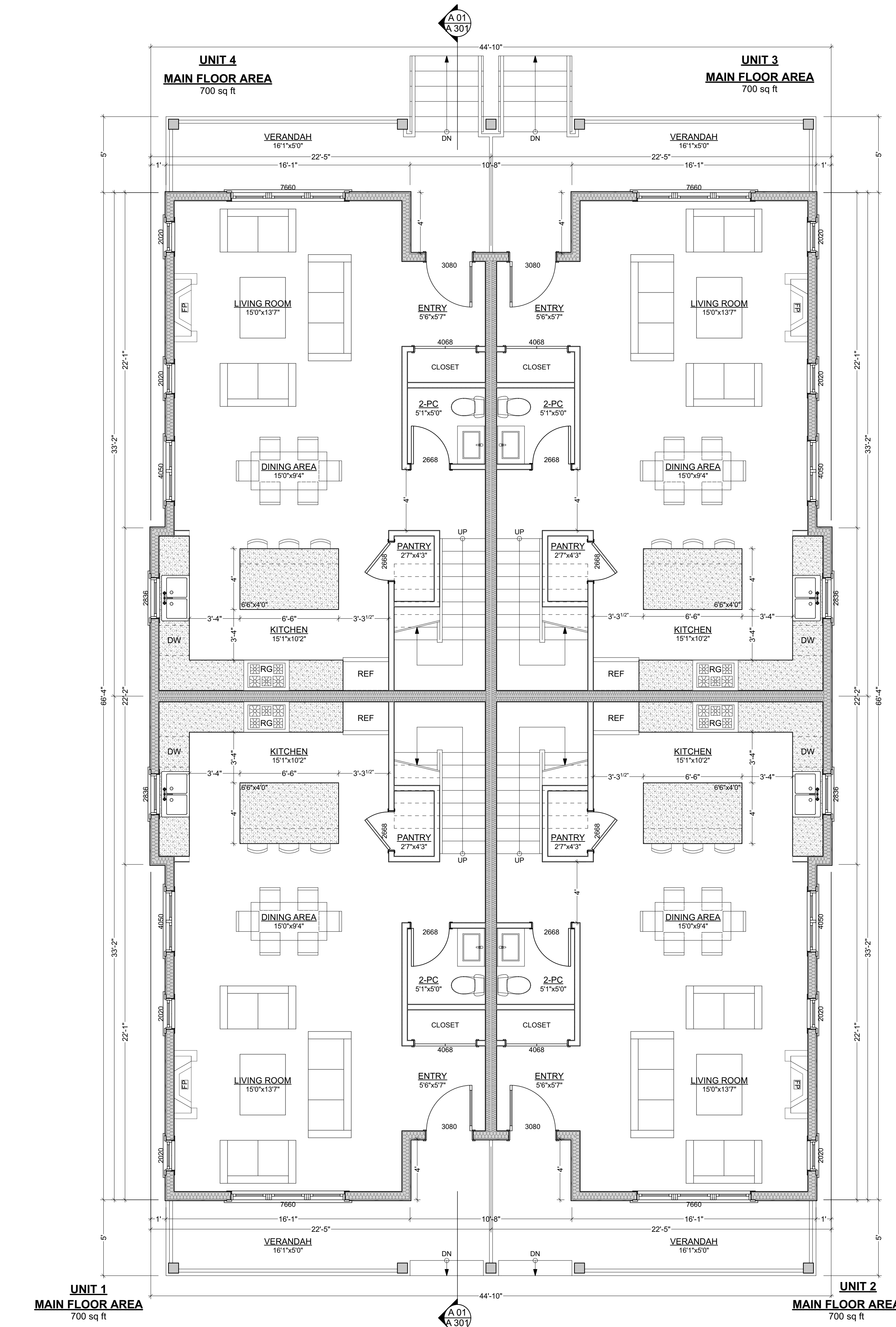
SITE PLAN

**A-002**

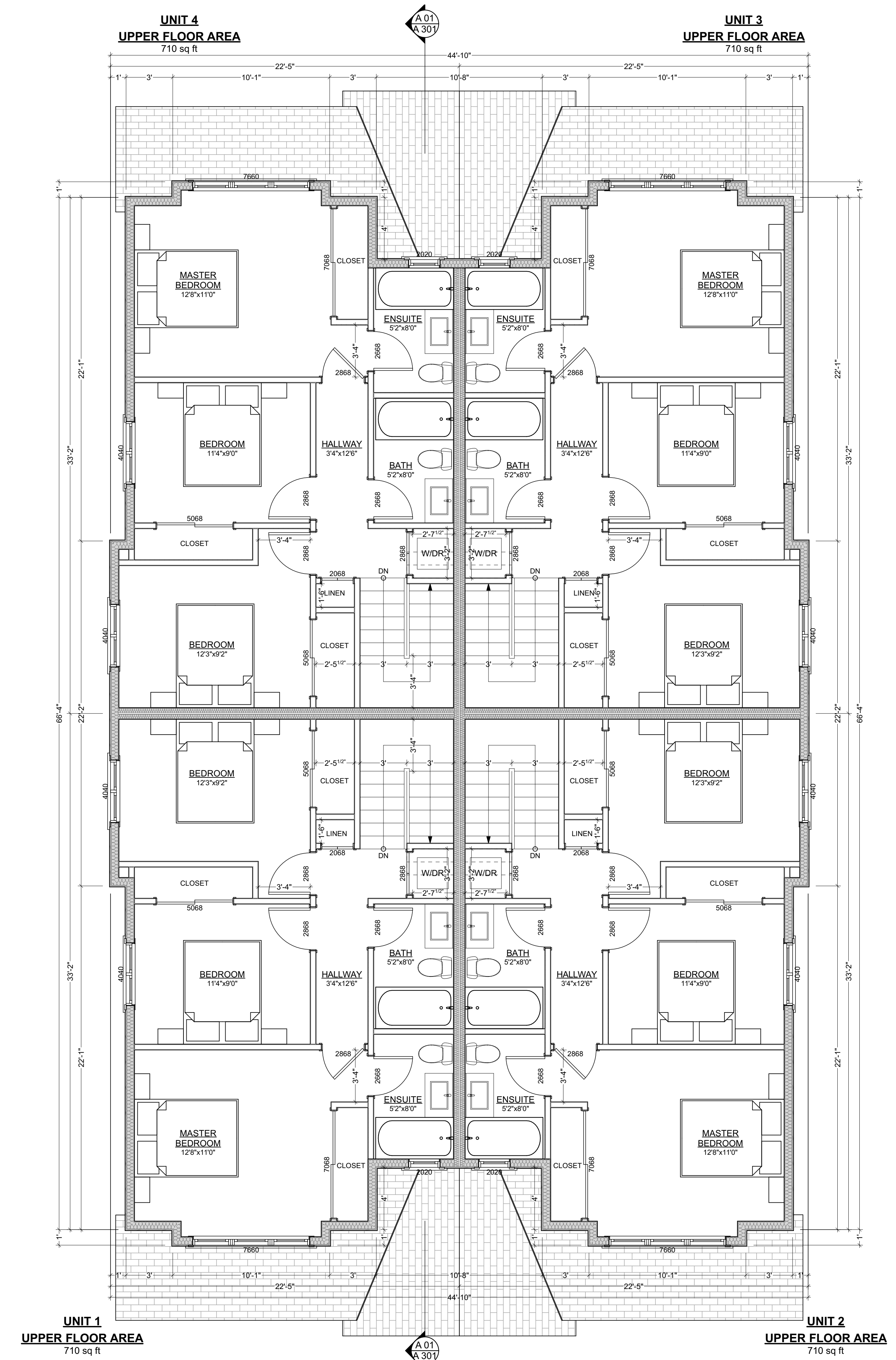
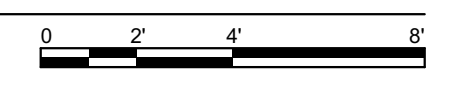
**1 SITE PLAN**  
SCALE: 1/8" = 1'-0"

**2 STREET VIEW**  
SCALE: 1/8" = 1'-0"

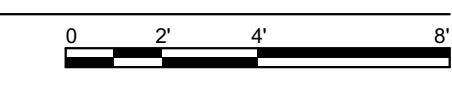




1 MAIN FLOOR PLAN - LOT 7  
SCALE: 1/4" = 1'-0"



2 UPPER FLOOR PLAN - LOT 7  
SCALE: 1/4" = 1'-0"



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ISSUED FOR DP

ISSUED:

MAIN AND UPPER FLOOR PLAN - LOT 7

A-101

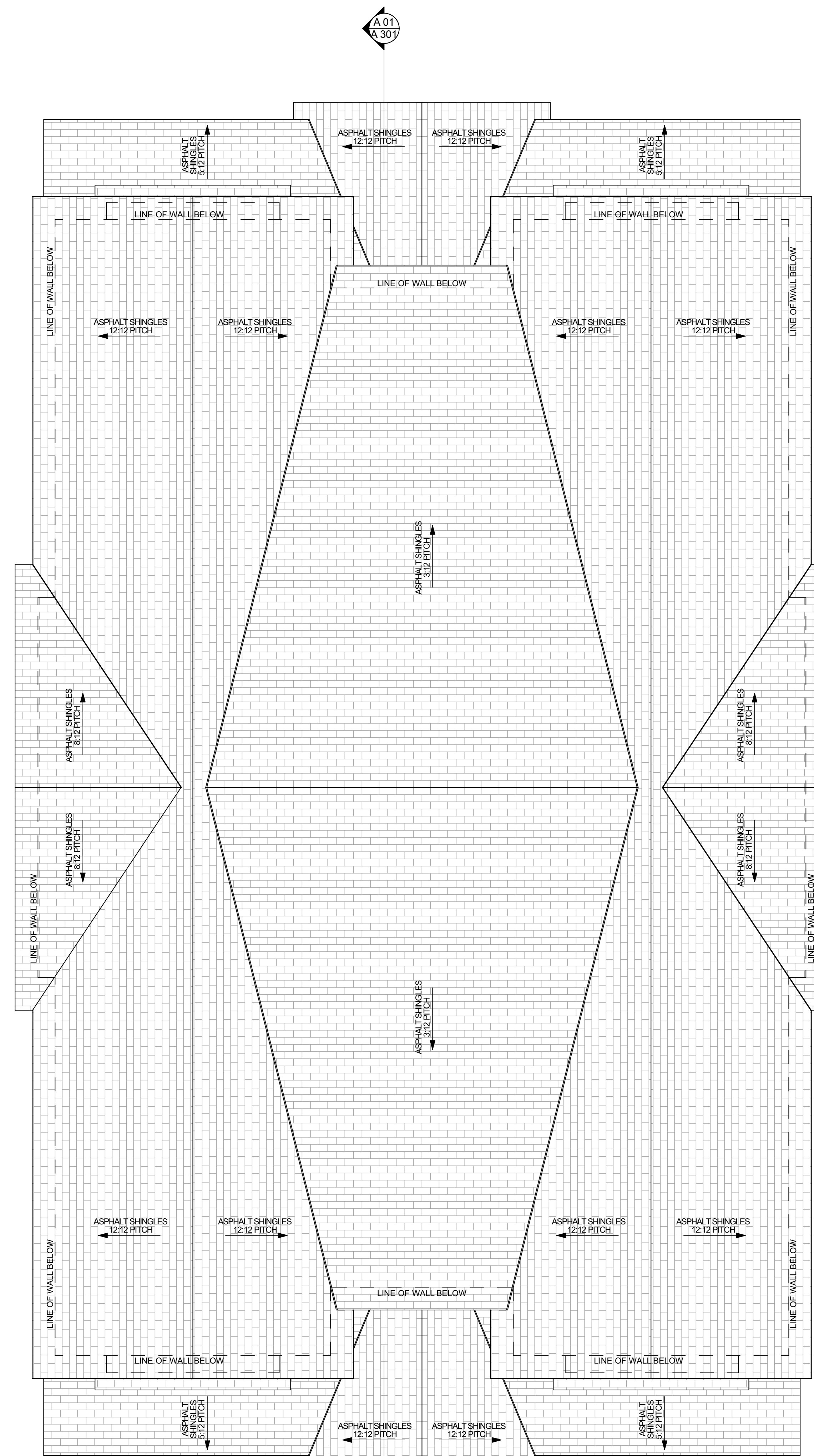
Printed: 9/30/2021

ISSUED FOR DP

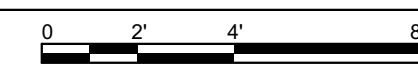
ISSUED:


ROOF PLAN - LOT 7

# A-102



1 ROOF PLAN - LOT 7  
SCALE: 1/4" = 1'-0"



A 01  
A 301

A 01  
A 301

**EXTERIOR CLADDING LEGEND**

- ① CEMENT BOARD PANEL C/W 1X3 CFS BATTENS - PAINTED
- ② CEMENT BOARD LAP SIDING PAINTED
- ③ ASPHALT ROOFING SHINGLES
- ④ FINISHED CONCRETE PARGED

**ADDITIONAL EXTERIOR FINISHINGS**

- GUTTERS 5" CONTINUOUS ALUMINUM (PREFINISHED)
- SOFFIT C/W 4"X2" ALUMINUM DOWNSPOUT (PREFINISHED)
- FASCIA VENTED ALUMINUM (PREFINISHED)
- WINDOW TRIM 2X12 COMB FACED SPF (PAINTED)
- DOOR TRIM 2X4 COMB FACED SPF TOPSIDES C/W 2X4 SLOPED SILL & 2X4 SUBSILL (PAINTED)
- CORNER TRIM 2X4 COMB FACED SPF (PAINTED)
- 1X4 COMB FACED SPF (PAINTED)

NOTE:  
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL I.D. PRIOR TO ORDERING WINDOWS.  
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER.



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ISSUED:

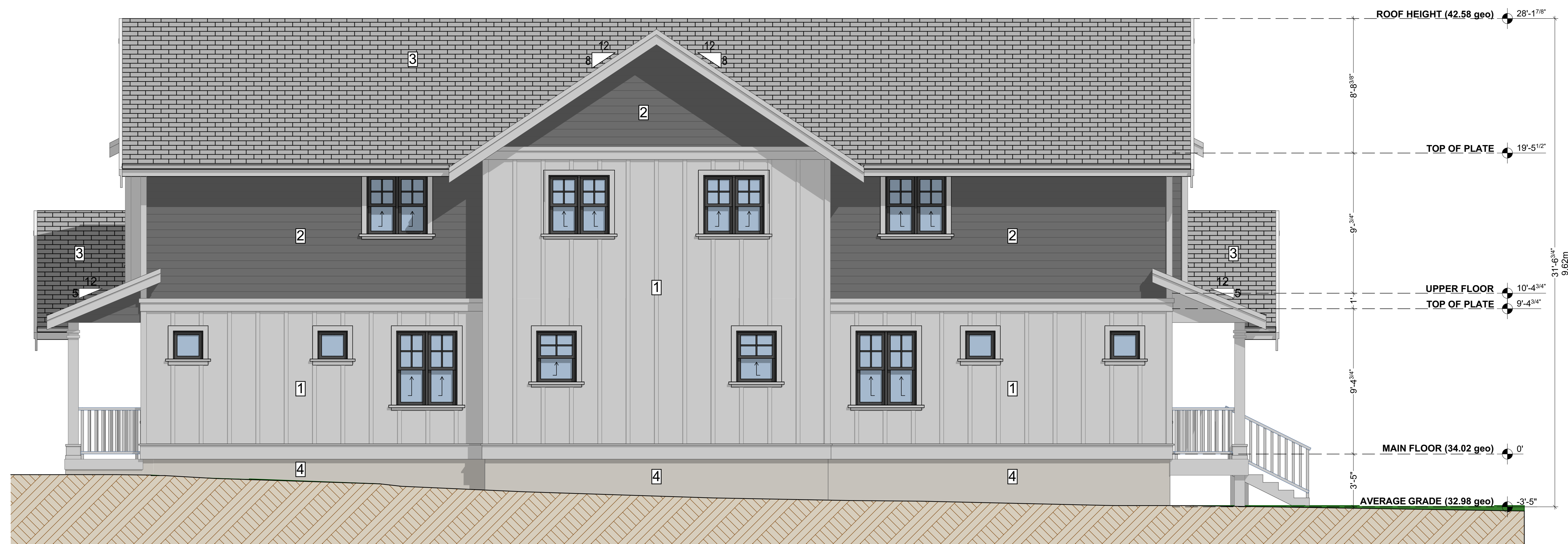
ELEVATIONS - LOT 7

**A-201**

Printed: 9/30/2021



**1 FRONT ELEVATION - LOT 7**  
SCALE: 1/4" = 1'-0"



**2 RIGHT ELEVATION - LOT 7**  
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION - LOT 7  
SCALE: 1/4" = 1'-0"

- EXTERIOR CLADDING LEGEND**
- 1 CEMENT BOARD PANEL C/W 1X3 CFS BATTENS - PAINTED
  - 2 CEMENT BOARD LAP SIDING PAINTED
  - 3 ASPHALT ROOFING SHINGLES
  - 4 FINISHED CONCRETE PARGED
- ADDITIONAL EXTERIOR FINISHINGS**
- GUTTERS 5" CONTINUOUS ALUMINUM (PREFINISHED)
  - SOFFIT C/W 4"X2" ALUMINUM DOWNSPOUT (PREFINISHED)
  - FASCIA VENTED ALUMINUM (PREFINISHED)
  - WINDOW TRIM 2X12 COMB FACED SPF (PAINTED)
  - DOOR TRIM 2X4 COMB FACED SPF TOPSIDES C/W 2X4 SLOPED SILL & 2X4 SUBSILL (PAINTED)
  - CORNER TRIM 2X4 COMB FACED SPF (PAINTED)
  - 1X4 COMB FACED SPF (PAINTED)
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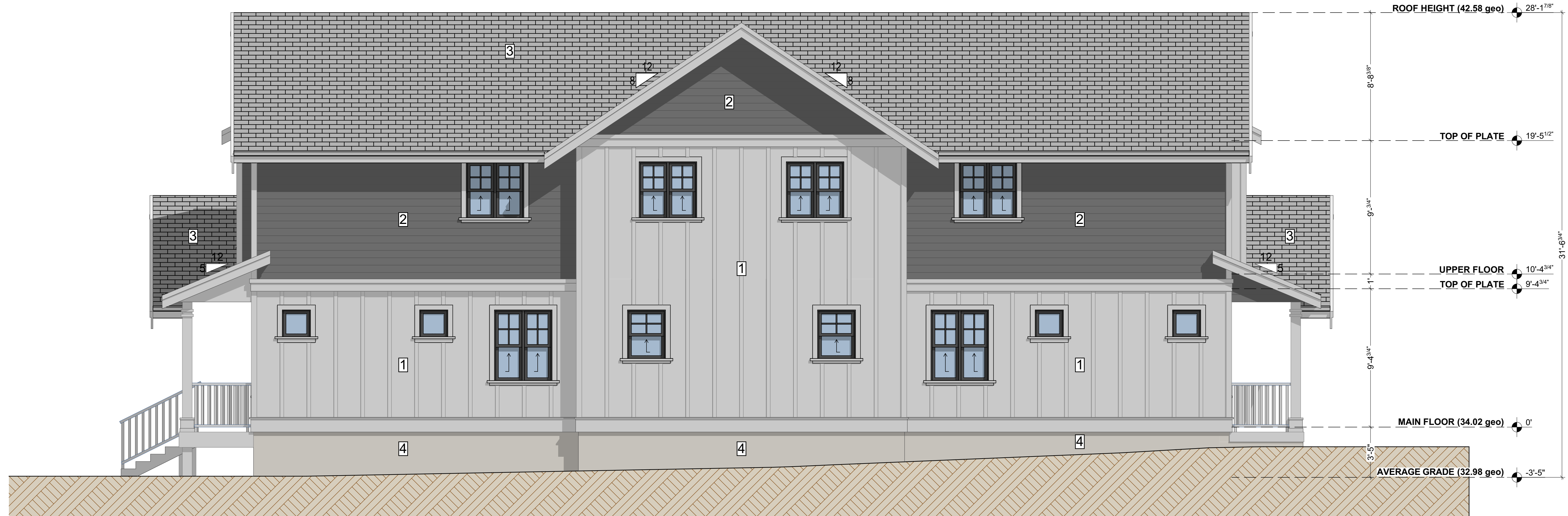
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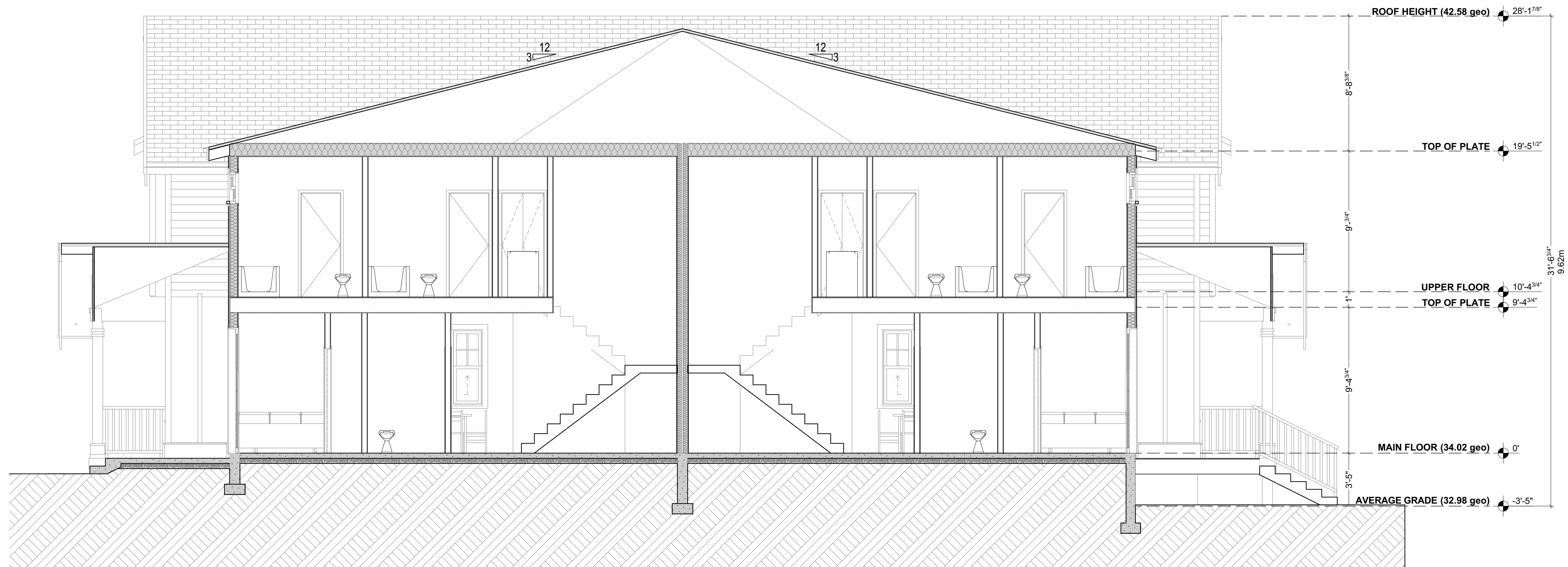
4 LEFT ELEVATION - LOT 7  
SCALE: 1/4" = 1'-0"

ISSUED FOR DP

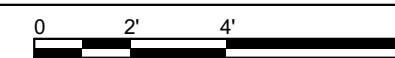
ISSUED:

ELEVATIONS - LOT 7

**A-202**



**1 CROSS SECTION 01 - LOT 7**  
SCALE: 1/4" = 1'-0"



BCBC 9.36 PRESCRIPTIVE PATH CLIMATE ZONE 4	
ASSEMBLY DESCRIPTION	EFF. RSI
TRUSS CEILING	6.91 RSI
CATHEDRAL CEILING & FLAT ROOF	4.67 RSI
EXTERIOR WALLS	2.78 RSI
FLOORS OVER GARAGE/UNHEATED SPACE	4.51 RSI
WALL @ GARAGE	2.62 RSI
HEATED CONCRETE SLABS	2.32 RSI
CONCRETE SLABS	1.96 RSI
FOUNDATION WALL BELOW GRADE	1.99 RSI

EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
R20 INSULATION	3.52 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE = <u>3.27 RSI</u>	
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.78 RSI	

VAULTED CEILING EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
2X10 RAFTERS	2.0 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.22 RSI @ 13% CEILING
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
R20 BATT INSULATION	3.52 RSI
R12 BATT INSULATION	2.11 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	5.85 RSI @ 87% CEILING
EFF. THERMAL RESISTANCE = <u>4.82 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE = 4.67 RSI	

TRUSS ROOF EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
3-1/2" BOTTOM CHORD	0.76 RSI
3/4" SHEATHING	0.16 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 11% =	0.98 RSI
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
3-1/2" BLOWN INSULATION	1.67 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 89% =	1.89 RSI
EFFECTIVE THERMAL INSULATION @ CAVITY = 1.71 RSI	
12" BLOWN FG ABOVE FRAMING = 5.63 RSI	
TOTAL EFF. THERMAL RESISTANCE = <u>7.34 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE = 6.91 RSI	

FLOOR OVER UNHEATED SPACE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
OUTSIDE AIR FILM	0.03 RSI
2X10 JOISTS	2.0 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	2.54 RSI @ 13% FLOOR AREA
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
3/4" SHEATHING	0.16 RSI
R28 BATT INSULATION	4.93 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	5.47 RSI @ 87% FLOOR AREA
EFF. THERMAL RESISTANCE = <u>4.75 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE = 4.67 RSI	

FLOORS OVER GARAGE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
R28 INSULATION	4.93 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFF. R VALUE =	5.56 RSI @ 87%
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
2X10 FLOOR JOISTS	1.99 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.46 RSI @ 13%
EFF. THERMAL RESISTANCE = <u>4.77 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE = 4.51 RSI	

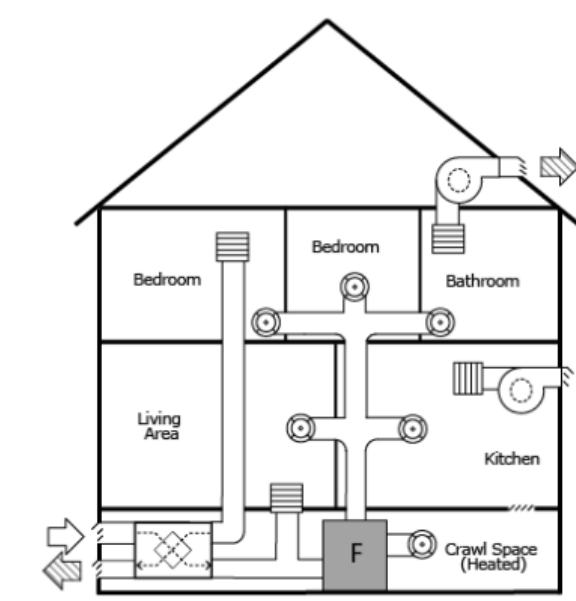
EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
R20 INSULATION	3.52 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE = <u>3.27 RSI</u>	
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.79 RSI	

WALL @ GARAGE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
POLYETHYLENE	NIL
2X6 STUD	1.19 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	1.59 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
POLYETHYLENE	NIL
R20 INSULATION	3.52 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	3.92 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE = <u>2.93 RSI</u>	
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.62 RSI	

BASEMENT SLAB ABOVE FROST LINE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI
EFF. THERMAL INSULATION =	<u>2.35 RSI (R13.3)</u>
REQUIRED EFF. THERMAL INSULATION =	1.96 RSI (R13.2)
BASEMENT HEATED FLOOR EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI
EFF. THERMAL RESISTANCE = <u>2.35 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE = 2.32 RSI	

THERMAL BREAK BETWEEN SLAB AND FOUNDATION WALL EFFECTIVE INSULATION	
1-1/2" XPS	1.32 RSI
50% REQUIRED HEATED CONCRETE SLAB	2.35 RSI X
50% = 1.18 RSI REQUIRED	
EFF. THERMAL INSULATION = <u>1.32 RSI</u>	
REQUIRED EFF. THERMAL INSULATION = 1.18 RSI	
CRAWLSPACE FOUNDATION WALLS EFFECTIVE INSULATION	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
R12 FOIL BACK INSULATION	0.04 RSI
8" THICK CONCRETE WALL	2.11 RSI
EFF. THERMAL RESISTANCE = <u>2.31 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE = 1.99 RSI	

FOUNDATION WALL BELOW GRADE INTERIOR FURRING WALL	
200mm CONCRETE	0.08 RSI
1/2" AIR SPACE	0.16 RSI
2X4 @ 24" OC FRAMING (13%)	0.76 RSI
R12 FG BATT (87%)	2.11 RSI
1/2" GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
ACTUAL EFF. THERMAL INSULATION = <u>2.22 RSI</u>	
REQUIRED EFF. THERMAL INSULATION MIN. = 1.99 RSI	
FOUNDATION WALL BELOW GRADE EXTERIOR INSULATION	
200mm CONCRETE	0.08 RSI
2-1/2" XPS CONTINUOUS INSULATION	2.15 RSI
INTERIOR AIR FILM	0.12 RSI
ACTUAL EFF. THERMAL RESISTANCE = <u>2.35 RSI</u>	
REQUIRED EFF. THERMAL RESISTANCE MIN. = 1.99 RSI	



BCBC 9.32 MECHANICAL VENTILATION REQUIREMENTS FORCED AIR HEATING SYSTEM W/ HRV

HRV DRAWS SUPPLY AIR FROM EXTERIOR INTO THE RETURN AIR PLENUM OF FURNACE

HRV DRAWS EXHAUST AIR THROUGH DEDICATED DUCTING, ONE OF WHICH IS MIN. 2M ABOVE THE FLOOR OF THE UPPERMOST LEVEL

THE CAPACITY OF THE HRV IS TO BE NO LESS THAN THE AIR FLOW RATE AS PER BCBC T9.32.3.5

PRINCIPAL EXHAUST FANAS SHOWN ON PLANS

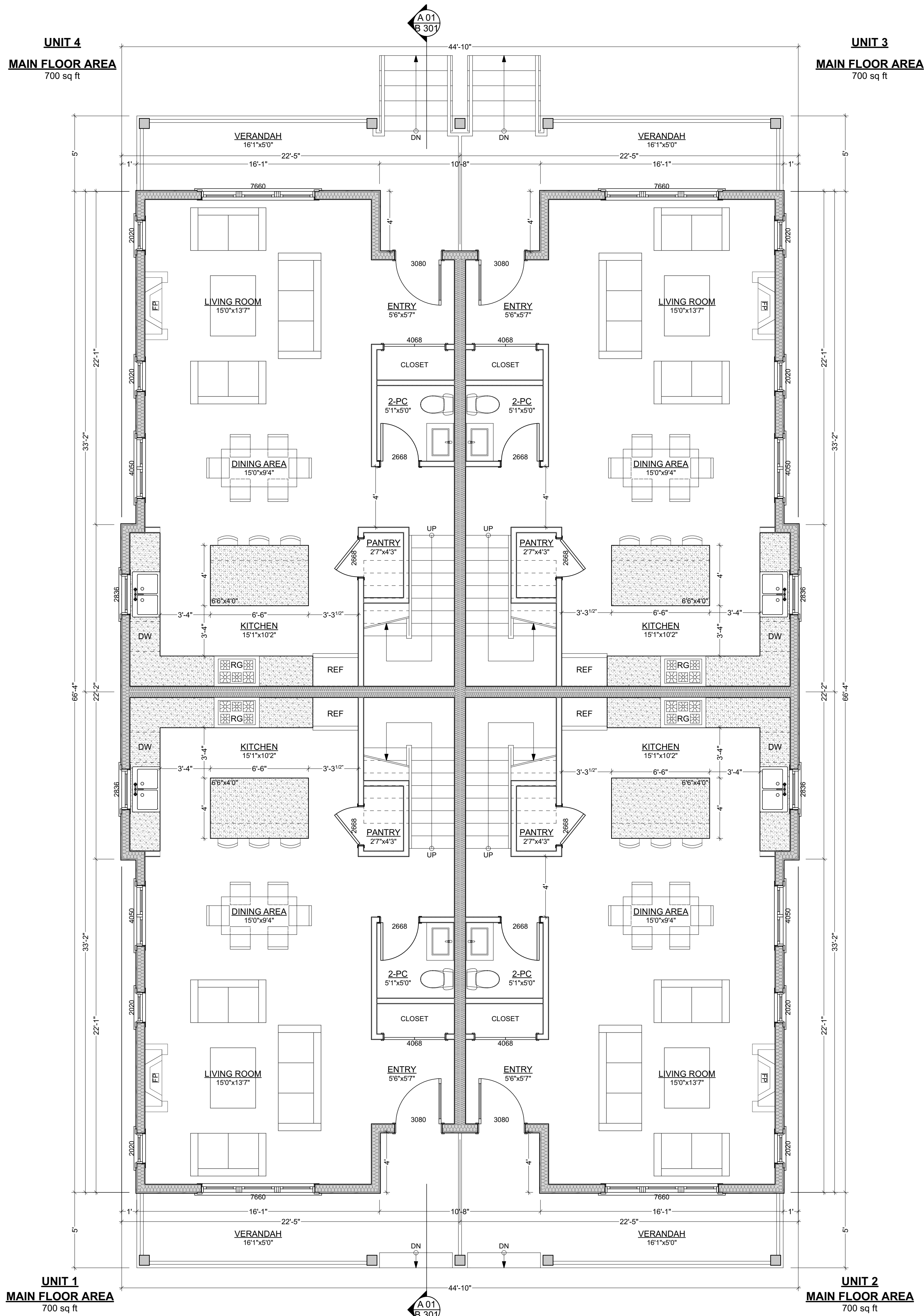
CONTRACTOR TO SUPPLY BUILDING OFFICIAL WITH MECHANICAL VENTILATION CHECKLIST ON OR PRIOR TO FRAMING INSPECTION

ISSUED FOR DP

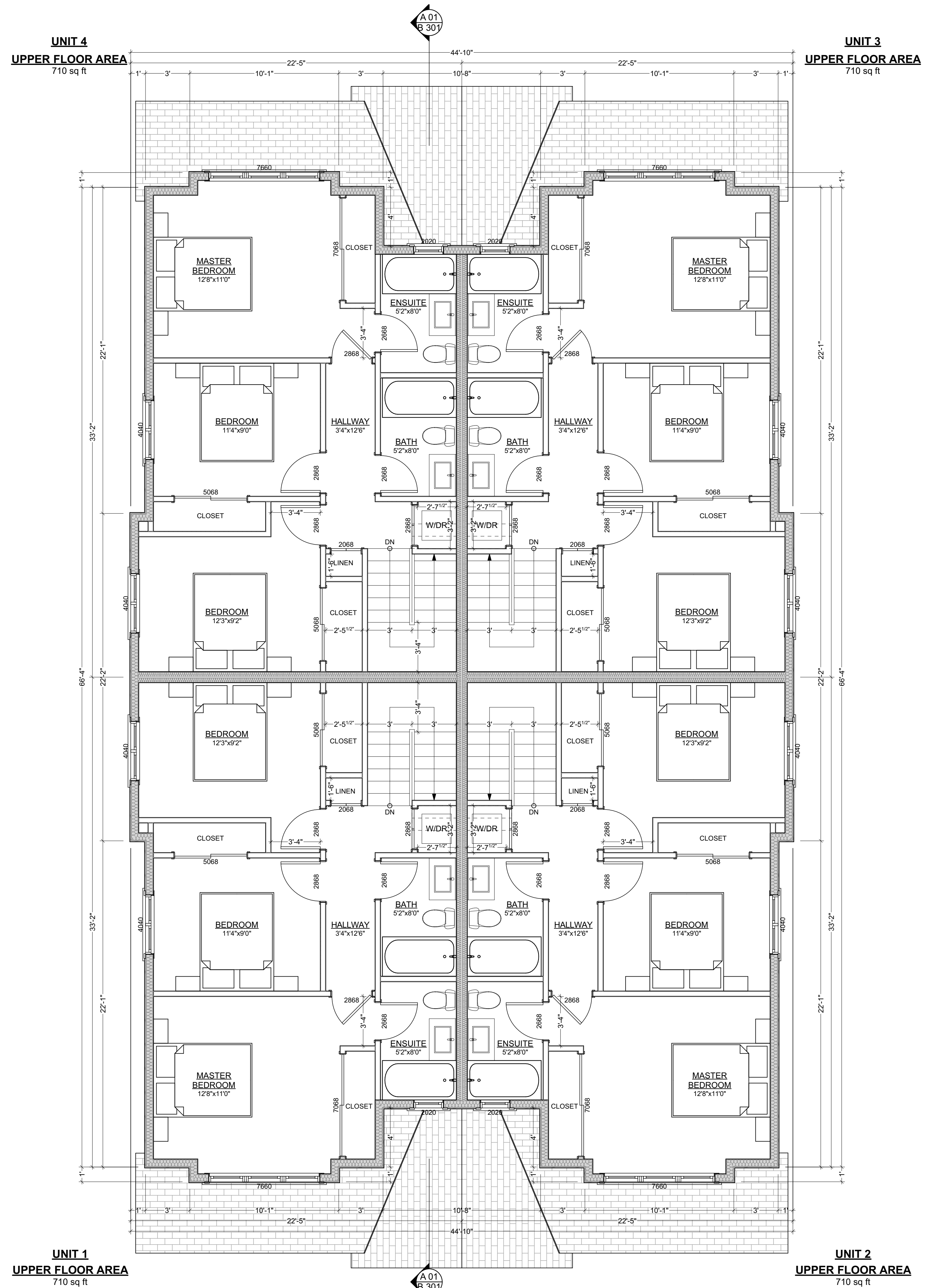
ISSUED:

CROSS SECTION - LOT 7

A-301



1 MAIN FLOOR PLAN - LOT 8  
SCALE: 1/4" = 1'-0"



2 UPPER FLOOR PLAN - LOT 8  
SCALE: 1/4" = 1'-0"



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The General Contractor is responsible for confirming and correlating dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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ISSUED  
FOR  
DP

ISSUED:

MAIN AND UPPER  
FLOOR PLAN - LOT 8

**B-101**

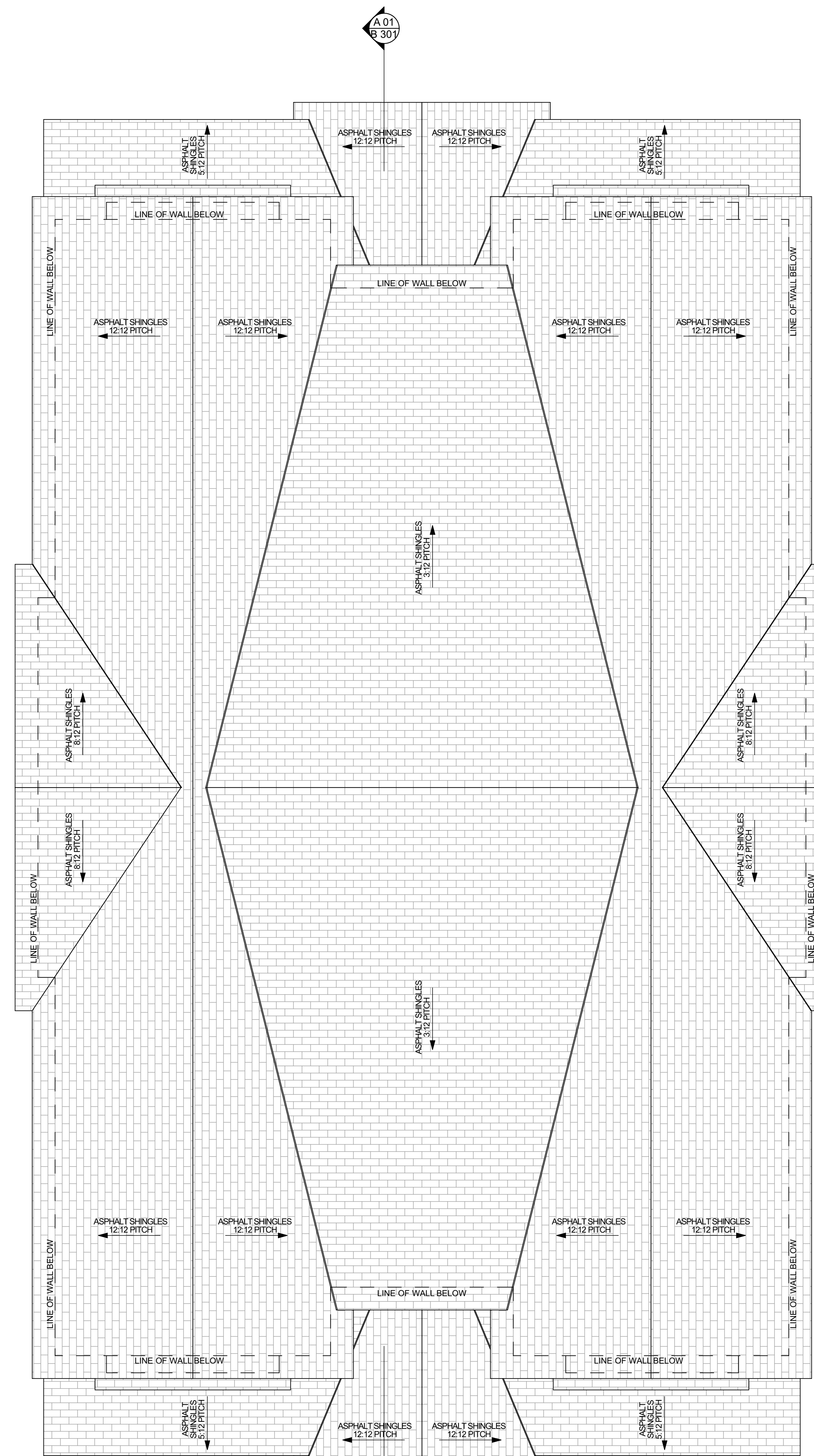


ISSUED FOR DP

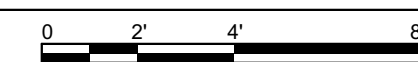
ISSUED:

ROOF PLAN - LOT 8

# B-102



1 ROOF PLAN - LOT 8  
SCALE: 1/4" = 1'-0"





1 FRONT ELEVATION - LOT 8  
SCALE: 1/4" = 1'-0"

**EXTERIOR CLADDING LEGEND**

- 1 CEMENT BOARD LAP SIDING PAINTED
- 2 CEMENT BOARD PANEL CW/ 1X3 CFS BATTENS - PAINTED
- 3 ASPHALT ROOFING SHINGLES
- 4 FINISHED CONCRETE PARGED

**ADDITIONAL EXTERIOR FINISHINGS**

GUTTERS: 5" CONTINUOUS ALUMINUM (PREFINISHED)  
 SOFFIT: CW/ 4"X2" ALUMINUM DOWNSPOUT (PREFINISHED)  
 FASCIA: VENTED ALUMINUM (PREFINISHED)  
 WINDOW TRIM: 2X12 COMB FACED SPF (PAINTED)  
 DOOR TRIM: 2X4 COMB FACED SPF TOPSIDES CW/ 2X4 SLOPED SILL & 2X4 SUBSILL (PAINTED)  
 CORNER TRIM: 2X4 COMB FACED SPF (PAINTED)  
 1X4 COMB FACED SPF (PAINTED)

NOTE:  
 WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL I.D. PRIOR TO ORDERING WINDOWS.  
 FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER.



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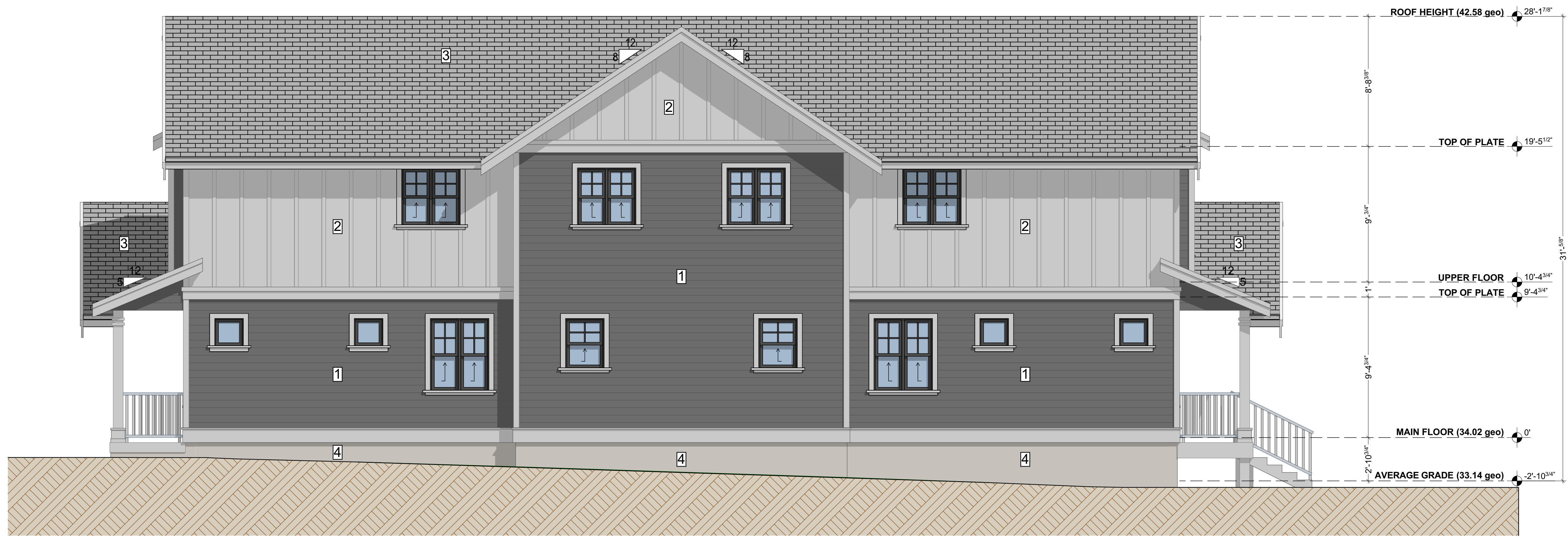
ISSUED FOR DP

ISSUED:

ELEVATIONS - LOT 8

**B-201**

Printed: 9/30/2021



2 RIGHT ELEVATION - LOT 8  
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION - LOT 8  
SCALE: 1/4" = 1'-0"



**EXTERIOR CLADDING LEGEND**

- 1 CEMENT BOARD LAP SIDING PAINTED
- 2 CEMENT BOARD PANEL C/W 1X3 CFS BATTENS - PAINTED
- 3 ASPHALT ROOFING SHINGLES
- 4 FINISHED CONCRETE PARGED

**ADDITIONAL EXTERIOR FINISHINGS**

GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT	C/W 4"x2" ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA	VENTED ALUMINUM (PREFINISHED)
WINDOW TRIM	2X12 COMB FACED SPF (PAINTED)
DOOR TRIM	2X4 COMB FACED SPF TOPSIDES C/W 2X4 SLOPED SILL & 2X4 SUBSILL (PAINTED)
CORNER TRIM	2X4 COMB FACED SPF (PAINTED)
	1X4 COMB FACED SPF (PAINTED)

NOTE:  
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL I.O.D. PRIOR TO ORDERING WINDOWS.  
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER.



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**LADYSMITH FOURPLEXES**

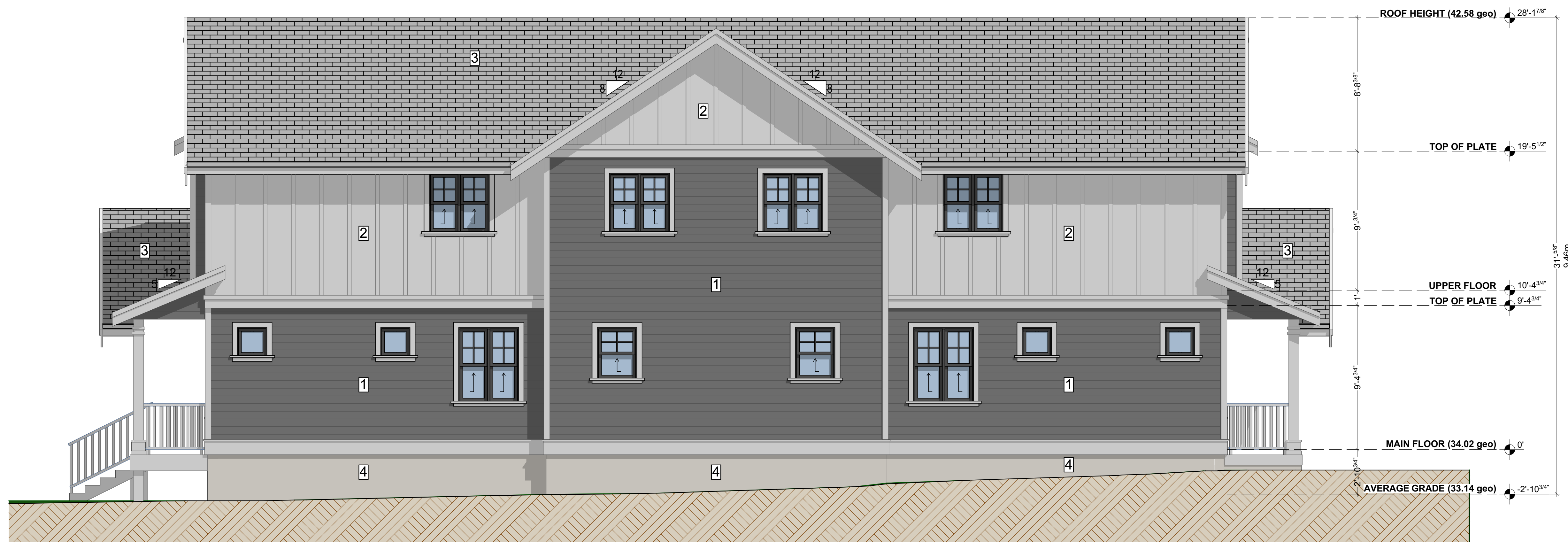
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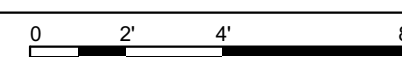
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ISSUED:

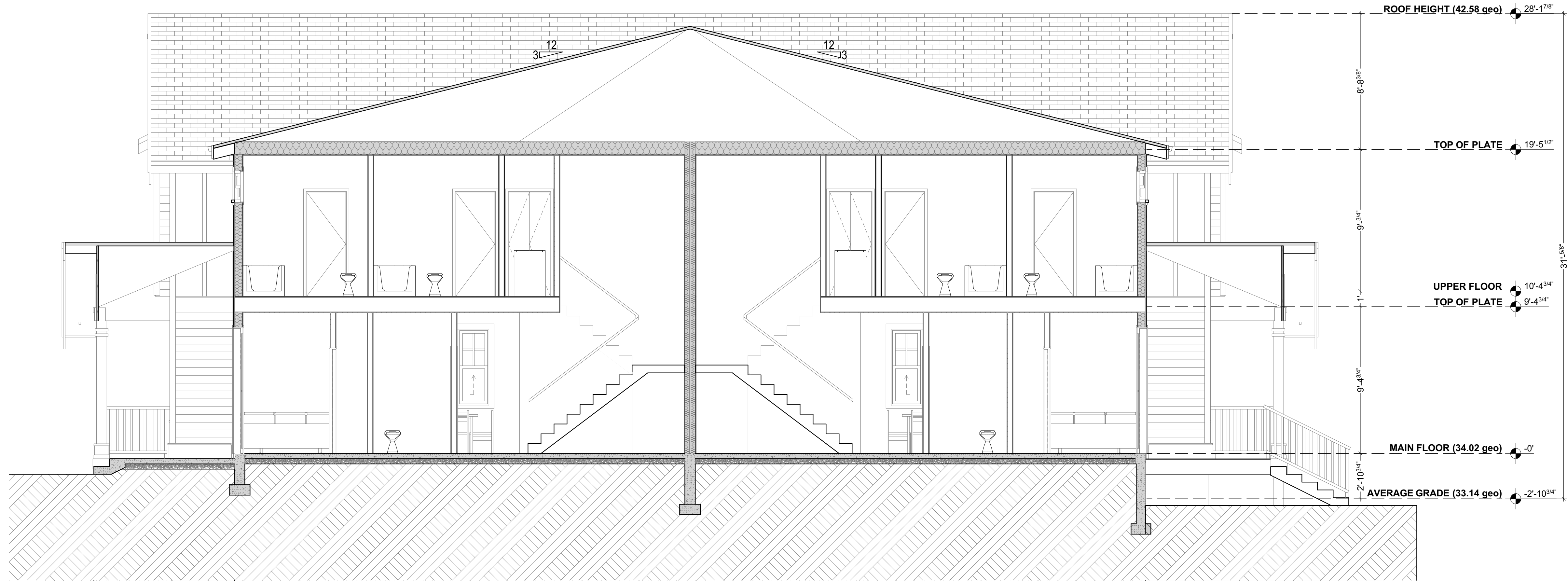


4 LEFT ELEVATION - LOT 8  
SCALE: 1/4" = 1'-0"

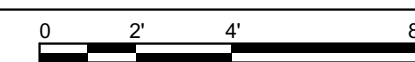


ELEVATIONS - LOT 8

**B-202**



**1 CROSS SECTION 01 - LOT 8**  
SCALE: 1/4" = 1'-0"



BCBC 9.36 PRESCRIPTIVE PATH CLIMATE ZONE 4	
ASSEMBLY DESCRIPTION	
EFF. RSI	
TRUSS CEILING	6.91 RSI
CATHEDRAL CEILING & FLAT ROOF	4.67 RSI
EXTERIOR WALLS	2.78 RSI
FLOORS OVER GARAGE/UNHEATED SPACE	4.51 RSI
WALL @ GARAGE	2.62 RSI
HEATED CONCRETE SLABS	2.32 RSI
CONCRETE SLABS	1.96 RSI
FOUNDATION WALL BELOW GRADE	1.99 RSI

EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
R20 INSULATION	3.52 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE = <b>3.27 RSI</b>	
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.78 RSI	

VAULTED CEILING EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
2X10 RAFTERS	2.0 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.22 RSI @ 13% CEILING
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
R20 BATT INSULATION	3.52 RSI
R12 BATT INSULATION	2.11 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	5.85 RSI @ 87% CEILING
EFF. THERMAL RESISTANCE = <b>4.82 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE = 4.67 RSI	

TRUSS ROOF EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
3-1/2" BOTTOM CHORD	0.76 RSI
1/2" SHEATHING	0.16 RSI
2X10 JOISTS	2.0 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 11% =	0.98 RSI
INTERIOR AIR FILM	0.11 RSI
GYPSON BOARD	0.08 RSI
3-1/2" BLOWN INSULATION	1.67 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 89% =	1.89 RSI
EFFECTIVE THERMAL INSULATION @ CAVITY = 1.71 RSI	
12" BLOWN FG ABOVE FRAMING = 5.63 RSI	
TOTAL EFF. THERMAL RESISTANCE = <b>7.34 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE = 6.91 RSI	

FLOOR OVER UNHEATED SPACE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	0.26 RSI
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
1/2" SHEATHING	0.16 RSI
2X10 FLOOR JOISTS	1.99 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	2.54 RSI @ 13% FLOOR AREA
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
1/2" SHEATHING	0.16 RSI
R28 BATT INSULATION	4.93 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	5.47 RSI @ 87% FLOOR AREA
EFF. THERMAL RESISTANCE = <b>4.75 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE = 4.67 RSI	

FLOORS OVER GARAGE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
R28 INSULATION	4.93 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFF. R VALUE =	5.56 RSI @ 87%
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
2X10 FLOOR JOISTS	1.99 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.46 RSI @ 13%
EFF. THERMAL RESISTANCE = <b>4.77 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE = 4.51 RSI	

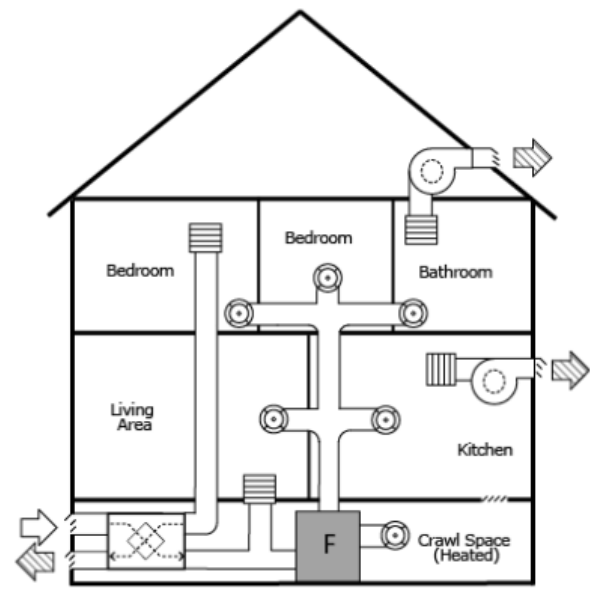
EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
POLYETHYLENE	NIL
R20 INSULATION	3.52 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE = <b>3.27 RSI</b>	
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.79 RSI	

WALL @ GARAGE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
POLYETHYLENE	NIL
2X6 STUD	1.19 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	1.59 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSON BOARD	0.08 RSI
POLYETHYLENE	NIL
R20 INSULATION	3.52 RSI
GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	3.92 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE = <b>2.93 RSI</b>	
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.62 RSI	

BASEMENT SLAB ABOVE FROST LINE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
50% REQUIRED HEATED CONCRETE SLAB	2.35 RSI X
50% =	1.18 RSI REQUIRED
EFF. THERMAL INSULATION = <b>1.32 RSI</b>	
REQUIRED EFF. THERMAL INSULATION = 1.18 RSI (R13.2)	
BASEMENT HEATED FLOOR EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI
EFF. THERMAL RESISTANCE = <b>2.35 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE = 2.32 RSI	

THERMAL BREAK BETWEEN SLAB AND FOUNDATION WALL EFFECTIVE INSULATION	
1-1/2" XPS	1.32 RSI
50% REQUIRED HEATED CONCRETE SLAB	2.35 RSI X
50% =	1.18 RSI REQUIRED
EFF. THERMAL INSULATION = <b>1.32 RSI</b>	
REQUIRED EFF. THERMAL INSULATION = 1.18 RSI	
CRAWLSPACE FOUNDATION WALLS EFFECTIVE INSULATION	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
R12 FOIL BACK INSULATION	0.04 RSI
8" THICK CONCRETE WALL	2.11 RSI
EFF. THERMAL RESISTANCE = <b>2.31 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE = 1.99 RSI	

FOUNDATION WALL BELOW GRADE INTERIOR FURRING WALL	
200mm CONCRETE	0.08 RSI
1/2" AIR SPACE	0.16 RSI
2X4 @ 24" OC FRAMING (13%)	0.76 RSI
R12 FG BATT (87%)	2.11 RSI
1/2" GYPSON BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
ACTUAL EFF. THERMAL INSULATION = <b>2.22 RSI</b>	
REQUIRED EFF. THERMAL INSULATION MIN. = 1.99 RSI	
FOUNDATION WALL BELOW GRADE EXTERIOR INSULATION	
200mm CONCRETE	0.08 RSI
2-1/2" XPS CONTINUOUS INSULATION	2.15 RSI
INTERIOR AIR FILM	0.12 RSI
ACTUAL EFF. THERMAL RESISTANCE = <b>2.35 RSI</b>	
REQUIRED EFF. THERMAL RESISTANCE MIN. = 1.99 RSI	



BCBC 9.32 MECHANICAL VENTILATION REQUIREMENTS FORCED AIR HEATING SYSTEM W/ HRV

HRV DRAWS SUPPLY AIR FROM EXTERIOR INTO THE RETURN AIR PLENUM OF FURNACE

HRV DRAWS EXHAUST AIR THROUGH DEDICATED DUCTING, ONE OF WHICH IS MIN. 2M ABOVE THE FLOOR OF THE UPPERMOST LEVEL

THE CAPACITY OF THE HRV IS TO BE NO LESS THAN THE AIR FLOW RATE AS PER BCBC T9.32.3.5

PRINCIPAL EXHAUST FANAS SHOWN ON PLANS

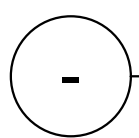
CONTRACTOR TO SUPPLY BUILDING OFFICIAL WITH MECHANICAL VENTILATION CHECKLIST ON OR PRIOR TO FRAMING INSPECTION

ISSUED FOR DP

ISSUED:

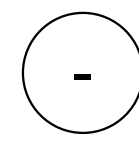
CROSS SECTION - LOT 8

**B-301**



FRONT PERSPECTIVE VIEW

NOT TO SCALE



REAR PERSPECTIVE VIEW

NOT TO SCALE

ISSUED  
FOR  
DP

ISSUED:


PERSPECTIVE VIEWS

**B-401**

Phone: (250)753-9778  
Email: info@turnersurveys.ca

December 13, 2021

Our File: 20-158

Julie Thompson,  
Planner  
Town of Ladysmith  
132C Roberts Street  
Ladysmith, BC V9G 1A2

Re: Re-zoning of 11 & 17 Warren Street, Ladysmith. (Lot 7 & 8, Block 5, District Lot 24, Oyster District, Plan 703A)

Dear Madame,

Our rationale for the re-zoning is as follows:

We propose to increase densification in the Downtown Core while holding the character of Ladysmith set forth in the Official Community Plan by seeking a re-zoning from live/work residential to multi-family. Depending on the proposed new zone classification under Bylaw 1860 the project may also require amendments to certain zoning aspects such as parcel size, floor space ratio, building height, and parcel coverage.

Please contact me if you require further information to process the application.

Sincerely,



Brody Phillips, BCLS  
Turner Land Surveying Inc.